

NL INDUSTRIES/TARACORP SUPERFUND SITE GROUP
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July 6, 2022

By Electronic Mail and First Class Mail

Ms. Sheri L. Bianchin
Remedial Project Manager
Institutional Controls Coordinator
U.S. Environmental Protection Agency Region 5
77 West Jackson Boulevard (SR-6J)
Chicago, IL 60604



Re: NL Industries/Taracorp Superfund Site; Granite City, Illinois
First 2022 Semi-Annual Operation and Maintenance Inspection (June 28-29, 2022)

Dear Ms. Bianchin:

On behalf of the NL Industries/Taracorp Superfund Site Group (Group), enclosed are copies of the log sheets, aerial photographs, and ground-level photographs documenting the results from the first 2022 semi-annual operation and maintenance inspection performed on June 28-29, 2022 at the NL Industries/Taracorp Superfund Site in Granite City, Illinois.

The results of the semi-annual operation and maintenance inspection are summarized as follows:

- At Slough Road (shown on Figure 1 and the photographs in Attachment 1), no disturbance of the gravel cover to the previously paved area (Slough Road) was observed. Mr. Earl Boyd, Terminal Manager for Beelman River Terminals, Inc. (Beelman), confirmed that there has been no disturbance to the paved surface of Slough Road (which is no longer visible) since the time the paved roadway was covered with soil/gravel fill as part of the expansion of Beelman's operations. Since the time of the previous inspection, Beelman and/or its contractors have continued to expand Beelman's operational areas by removing soil piles, vegetation, and the concrete foundation of the former Robin's Nest lounge near the south end of Beelman's facility. The area where the foundation of the Robin's Nest lounge was previously located is now covered with crushed stones and gravel (Attachment 1, photographs 10-13).
- The paved portion of Watson Alley in Eagle Park Acres (Figure 2, Attachment 2) and the vacant lot on Harrison Street (adjacent to the unpaved portion of Watson Alley where scattered battery case chips were previously observed on the soil surface after vegetation was cleared in 2019) was checked. No evidence of soil disturbance was observed. The Harrison Street property (Figure 3, Attachment 3) is covered with vegetation, which was recently mowed.
- Two remote fill properties (200 Allen Street and 206 Terry Street) in Eagle Park Acres (Figure 3, Attachment 3) that were previously remediated by EPA (and where lead-impacted

soil and/or battery case chips may remain in place at depths of two feet and three feet below the ground surface, respectively) were observed during the inspection. No evidence of subsurface soil disturbance was observed. The properties are lawn-covered and appear to have been recently mowed.

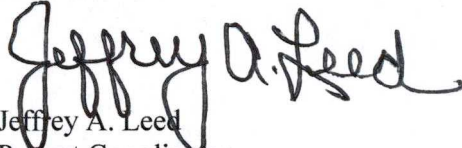
- Alleys in Venice that were paved during remedial activities were noted to be in generally good condition. The Venice alleys are shown on Figure 1 and are identified on the photographs in Attachment 4. Some small asphalt patches were observed (Attachment 4, photographs 16 and 19, for example), confirming that the local municipality is continuing to repair and repave alleys, as necessary.
- Observations of the Taracorp pile cap and 1555 State Street property (Figure 4) are shown on the photographs provided in Attachment 5 and are summarized as follows:
 - The Group's lawn maintenance contractor, Munie Greencare Professionals (Munie), cut the vegetation on the Taracorp pile cap and the 1555 State Street property on June 21, 2022. Based on the results of the inspection, the Group's project coordinator requested that Munie apply herbicide to control the growth of vegetation on the fence in several areas on the 1555 State Street and Taracorp pile properties (Attachment 5, photographs 32, 38, 51, 66, and 67).
 - Based on the results of the inspection, the Group has requested that its contractor, Double D Wildlife Control, return to the main industrial site to trap and remove groundhogs from three sets of holes that were observed in the cap on the southern end of the Taracorp pile at the locations shown on Figure 4 (Attachment 5, photographs 92-94).
 - All Pallet Services, one of the companies that operates on the main industrial site, has completed work since the previous inspection to repair bent and separated sections of fence along the southern and southwestern sides of the Taracorp pile (Attachment 5, photographs 26-30 and 35-38).
 - No problems impacting the effectiveness of the concrete surface water drainage channel around the Taracorp pile and the stormwater discharge system were observed during the inspection.
 - The warning signs around the Taracorp pile were securely affixed to the fences.
- As shown on the photographs in Attachment 6, no evidence of disturbance of the soil cover or asphalt roadway was observed at Schaeffer Road (a remote fill property remediated by EPA). Some scattered battery case chips were observed on the ground surface near the sanitary sewer manhole located near the western end of Schaeffer Road at the approximate location on Figure 5 and in a few small areas along Schaeffer Road.
- At Sand Road (also a remote fill property remediated by EPA), some scattered battery case chips and other debris (concrete, bricks, wood, etc.) were observed on the ground surface within the foundation area of the former building on the property (Attachment 7) and along

Mr. Sheri Bianchin
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the west side of the foundation. The property is currently being farmed; however, no evidence of disturbance of the soil within the foundation area and surrounding areas was observed.

Please let me know if you have questions or if additional information or clarification is needed at this time.

Very truly yours,
MONTROSE


Jeffrey A. Leed
Project Coordinator

attachments

cc: Mr. Brian Conrath – Illinois Environmental Protection Agency
(w/attachments, by electronic mail)
Technical Committee, NL Industries/Taracorp Superfund Site Group
(w/attachments, by electronic mail)

**NL Industries/Taracorp Superfund Site
Inspection Log - Operation and Maintenance**

Inspection Date: June 28, 2022

Weather: Sunny, hot, 90°F

Inspector's Name/Company: Jeff Leed, Montrose

Site Structure	Inspected (yes/no)	Problem(s) Identified (yes/no)	Inspection Observations	Maintenance Work Performed or Required
PAVED ALLEYS				
Slough Road				
Evidence of broken or deteriorated asphalt	Yes	No		
Visual evidence of hard rubber battery case chips	Yes	No	The concrete foundations of the former Robin's Nest lounge has been excavated and removed. The area where the concrete foundations were located is now covered with gravel/crushed stones as part of Beelman's continuing property development and expansion activities.	
Indicate location and extent	---	---		
Comments			See Note 1.	
Eagle Park Acres (Watson Alley)				
Evidence of disturbance to paved surface of Watson Alley	Yes	No		
Visual evidence of hard rubber battery case chips	Yes	No		
Indicate location and extent	---	---		
Comments			See Note 2.	
Venice Alleys				
Evidence of broken or deteriorated asphalt	Yes	No		
Visual evidence of hard rubber battery case chips	Yes	No		
Indicate location and extent	---	---		
Comments			See Note 3.	

Notes/Observations:

1. At Slough Road (Figure 1) and as shown on the photographs in Attachment 1, Mr. Earl Boyd, Terminal Manager for Beelman River Terminals, Inc., confirmed that there has been no disturbance to the paved surface of Slough Road (which is no longer visible) since the time it was covered with soil fill.
2. The paved portion of Watson Alley in Eagle Park Acres (as shown on Figure 2 and the photographs in Attachment 2) was inspected and noted to be in good condition.
3. Alleys in Venice that were paved during remedial activities were inspected and noted to be in generally good condition. Some small asphalt patches were observed. The Venice alleys are shown on Figure 1 and are identified on the photographs in Attachment 4.

**NL Industries/Taracorp Superfund Site
Inspection Log - Operation and Maintenance**

Inspection Date: June 28, 2022

Weather: Sunny, hot, 90°F

Inspector's Name/Company: Jeff Leed, Montrose

Site Structure	Inspected (yes/no)	Problem(s) Identified (yes/no)	Inspection Observations	Maintenance Work
REMOTE FILL PROPERTIES - EAGLE PARK ACRES				
200 Allen Street				
Evidence of settlement, erosion, deterioration, or excavation	Yes	No		
Visual evidence of hard rubber battery case chips (if excavation or other disturbance of soil cover is observed)	Yes (drive-by)	No	No evidence of soil disturbance.	
Indicate location and extent	---	---		
Comments			See Note 4.	
206 Terry Street				
Evidence of settlement, erosion, deterioration, or excavation	Yes	No		
Visual evidence of hard rubber battery case chips (if excavation or other disturbance of soil cover is observed)	Yes (drive-by)	No	No evidence of soil disturbance.	
Indicate location and extent	---	---		
Comments			See Note 4.	
Harrison Street Property				
Evidence of settlement, erosion, deterioration, or excavation	Yes	No		
Visual evidence of hard rubber battery case chips (if excavation or other disturbance of soil cover is observed)	Yes (drive-by)	No	No evidence of soil disturbance.	
Indicate location and extent	---	---		
Comments			See Note 5.	

Notes/Observations:

- Two remote fill properties (200 Allen Street and 206 Terry Street) in Eagle Park Acres (Figure 3) that were previously remediated by EPA (and where lead-impacted soil and/or battery case chips may remain in place at depths of 2 feet and 3 feet below the ground surface, respectively) were observed during the inspection. As shown on the photographs in Attachment 3, the properties are vacant, vegetated, and no evidence of subsurface soil disturbance was observed.
- The Harrison Street property (Figure 3) where some scattered battery case chips were first observed in May 2019 was checked during the inspection. As shown on the photographs in Attachment 3, the property is vacant, vegetated (and recently mowed), and no evidence of subsurface soil disturbance was observed.

**NL Industries/Taracorp Superfund Site
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Inspector's Name/Company: Jeff Leed, Montrose

Site Structure	Inspected (yes/no)	Problem(s) Identified (yes/no)	Inspection Observations	Maintenance Work Performed or Required
TARACORP PILE PROPERTIES (TARACORP PROPERTY AND 1555 STATE STREET PROPERTY)				
Security Fence - Condition				
Gates/locks secure and operative	Yes	No		
Evidence of rust, cuts, deterioration, or other damage	Yes	Yes	All Pallet Services has repaired previously bent sections of fence along the southern side of the Taracorp pile (Appendix 5, photographs 35-38) and along the southwestern side of the Taracorp pile (Attachment 5, photographs 26-30).	
Evidence of unauthorized entry	Yes	No		
Burrowing or tunneling under fence	Yes	No		
Damaged barbed wire	Yes	No		
Comments	Yes	Yes	Vegetation observed growing on the fence in several areas (Attachment 5, photographs 32, 38, 51, 66, and 67).	The Group has requested that its contractor, Munie Greencare, apply herbicide to prevent further growth of vegetation on the fence.
Security Fence - Warning Signs				
Evidence of rust, cuts, deterioration, or other damage	Yes	No		
Evidence of tampering	Yes	No		
Securely affixed to fence	Yes	No		
Signs legible	Yes	No		
Comments			All signs were checked and are securely attached to the fence.	
Access Road				
Evidence of settlement or deterioration	Yes	No		
Comments			No access road problems.	
Taracorp Pile - Vegetation				
Adequate growth of vegetation	Yes	No	Growth abundant on Taracorp pile cap.	The Group's contractor, Munie Greencare Professionals (Munie), cut the vegetation on the Taracorp pile cap and 1555 State Street property on 6/21/2022.
Adequate diversity of vegetation	Yes	No		
Evidence of stress	Yes	No		
Presence of trees, shrubs, woody bushes	Yes	No	No trees, shrubs, etc. observed on the Taracorp pile cap.	
Need for mowing/maintenance	Yes	No		
Comments				
Taracorp Pile - Erosion				
Evidence of erosion	Yes	No		
Indicate areal extent and location	---	---		
Comments			Three potential erosion rills covered with vegetation were observed on the slope on west side of the cap.	Continue to inspect.
Taracorp Pile - Settlement				
Evidence of settlement	Yes	No		
Indicate areal extent and location	---	---		
Comments			No settlement evident.	

**NL Industries/Taracorp Superfund Site
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Site Structure	Inspected (yes/no)	Problem(s) Identified (yes/no)	Inspection Observations	Maintenance Work Performed or Required
Taracorp Pile - Holes / Cracks				
Evidence of holes / cracks	Yes	Yes		
Indicate areal extent and location	---	---		
Comments			Three six sets of groundhog holes (two to three holes per set) were observed on the slopes on the southern end of the Taracorp pile cap (Attachment 5, photographs 92-94).	The Group's contractor, Double D Wildlife Control, is scheduled to set traps in early July 2022 and remove the groundhogs.
TARACORP PILE PROPERTIES (TARACORP PROPERTY AND 1555 STATE STREET PROPERTY)				
Taracorp Pile - Ponding				
Evidence of ponding	Yes	No		
Indicate areal extent and location	---	---		
Comments			No ponding evident.	
Taracorp Pile - Bulges				
Evidence of bulges	Yes	No		
Indicate areal extent and location	---	---		
Comments			No bulges evident.	
Taracorp Pile - Seeps				
Evidence of seepage (leachate)	Yes	No		
Indicate areal extent and location	---	---		
Comments			No evidence of seepage observed.	
Taracorp Pile - Slope Stability				
Evidence of sliding	Yes	No		
Indicate areal extent and location	---	---		
Comments			No sliding evident.	
Taracorp Pile - Leachate Management System				
Riser pipe - evidence of deterioration	Yes	No		
Riser pipe - locked	Yes	No		
Leachate levels in sump	No	---		
Comments			No problems identified. Leachate level checked during five-year review site work.	
Concrete Drainage Channel Around Taracorp Pile				
Evidence of cracks or other deterioration	Yes	Yes	Some cracks observed in concrete drainage channel (probably from mowing). No evidence of adverse impacts to surface water drainage (Attachment 5, photographs 16 and 17).	
Evidence of obstructions	Yes	No		
Evidence of erosion	Yes	No		
Evidence of improper drainage	Yes	No		
Comments				
Retention Basin for Stormwater Runoff				
Adequate vegetation	Yes	No		
Evidence of erosion or deterioration	Yes	No		
Appropriate drainage to storm sewer	Yes	No		
Comments			No problems with retention basin evident.	

**NL Industries/Taracorp Superfund Site
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Weather: Sunny, hot, 90°F

Inspector's Name/Company: Jeff Leed, Montrose

Site Structure	Inspected (yes/no)	Problem(s) Identified (yes/no)	Inspection Observations	Maintenance Work Performed or Required
Concrete Sidewalk (1555 State Street Property)				
Evidence of cracks or other deterioration	Yes	No		
Comments			Concrete sidewalk is in good condition; no problems identified.	

**NL Industries/Taracorp Superfund Site
Inspection Log - Operation and Maintenance**

Inspection Date: June 28, 2022

Weather: Sunny, hot, 90°F

Inspector's Name/Company: Jeff Leed, Montrose

Site Structure	Inspected (yes/no)	Problem(s) Identified (yes/no)	Inspection Observations	Maintenance Work
OTHER REMOTE FILL PROPERTIES				
Schaeffer Road				
Evidence of settlement, erosion, deterioration, or excavation	Yes	No		
Visual evidence of hard rubber battery case chips (if excavation or other disturbance of soil cover is observed)	Yes	Yes	See Note 6.	
Indicate location and extent	---	---		
Comments			See Note 6.	
Sand Road				
Evidence of settlement, erosion, deterioration, or excavation	Yes	No		
Visual evidence of hard rubber battery case chips (if excavation or other disturbance of soil cover is observed)	Yes	Yes	See Note 6.	
Indicate location and extent	---	---		
Comments			See Note 6.	

Notes/Observations:

6. Remote fill properties (Schaeffer Road and Sand Road) previously remediated by EPA (and where lead-impacted soil and/or battery case chips may remain in place at a depth of three feet below ground surface) were observed during the inspection. Photographs are provided in Attachment 6 and Attachment 7, respectively. At Schaeffer Road, several scattered battery case chips were observed on the soil surface near the sanitary sewer manhole near the west end of Schaeffer Road and in several small areas along the road. Scattered battery case chips and some other debris (concrete pieces, wood, bricks, etc.) were observed within the foundation area of the former building at the Sand Road property shown on Figure 6. Farming is occurring on both properties (no farming within the Schaeffer Road area or within the foundation area on the Sand Road property).

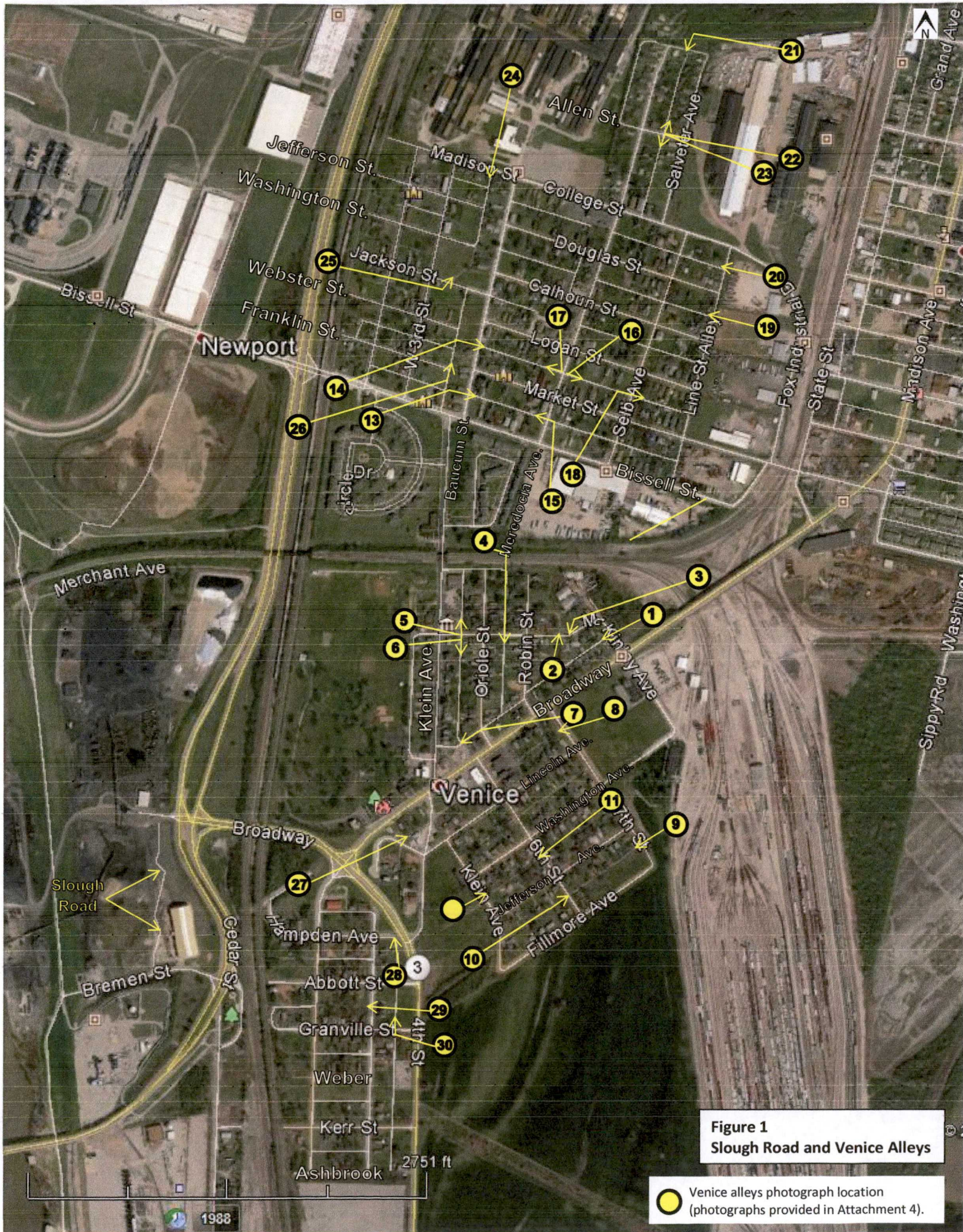



Figure 1
Slough Road and Venice Alleys

 Venice alleys photograph location
(photographs provided in Attachment 4).

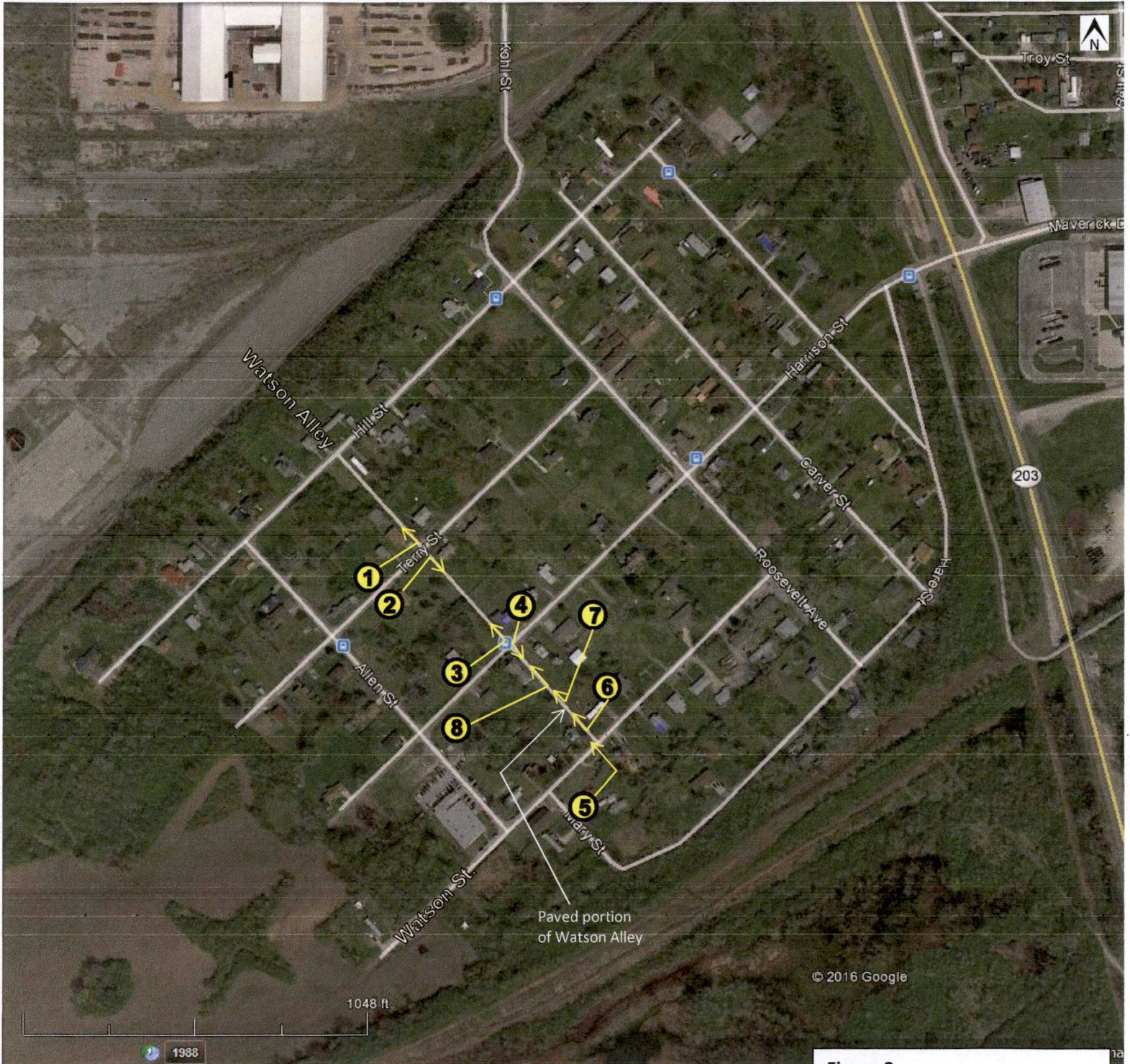


Figure 2
Eagle Park Acres – Watson Alley


 Watson Alley photograph locations
(photographs provided in Attachment 2).



Figure 3
Eagle Park Acres - Remote Fill Properties (200 Allen Street, 206 Terry Street, and Harrison Street Properties)

Photographs of remote fill properties provided in Attachment 3.

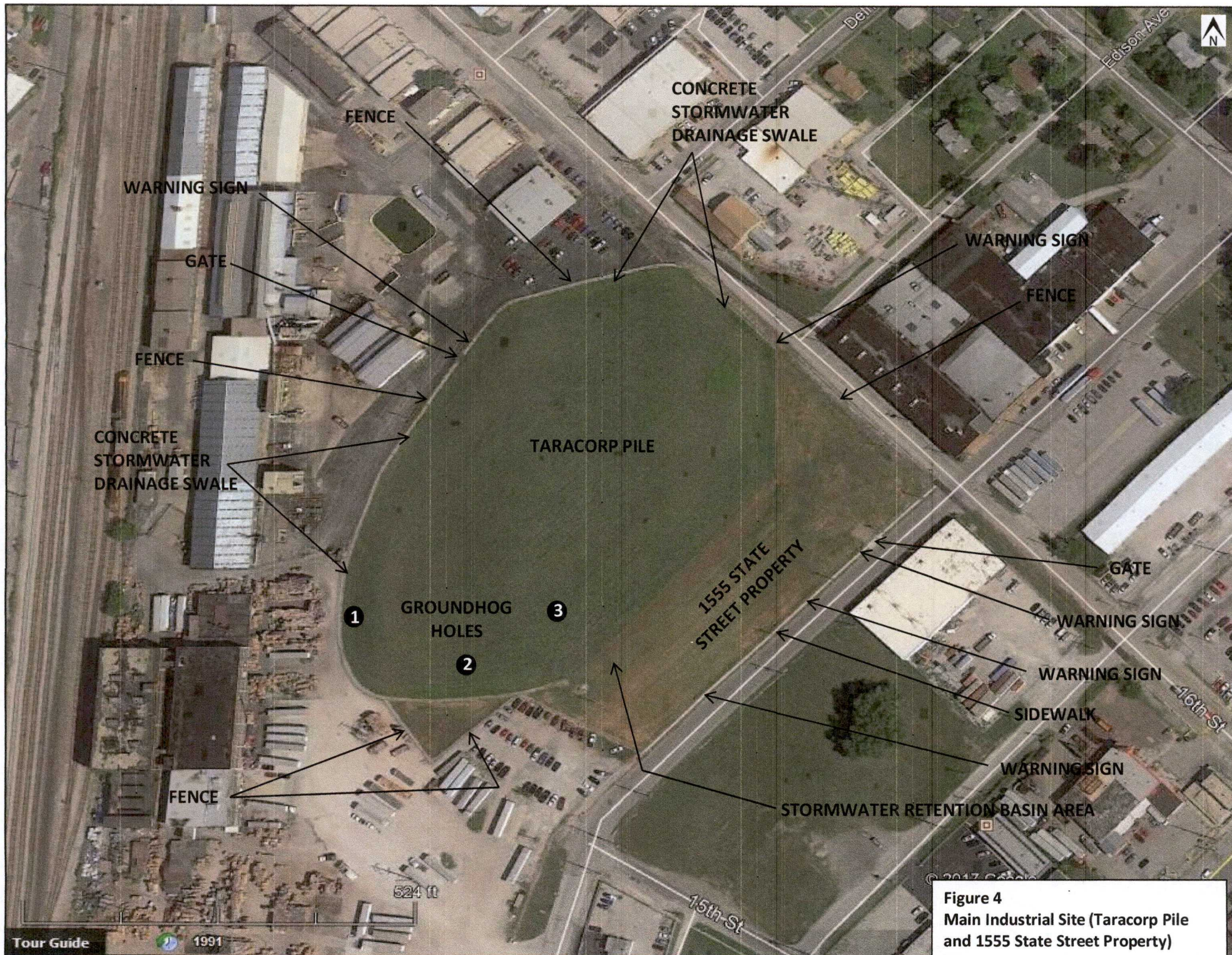


Figure 4
Main Industrial Site (Taracorp Pile
and 1555 State Street Property)



Figure 5
Schaeffer Road

Attachment 1
Slough Road Photographs
June 28, 2022



Photograph 1: Beelman warehouse.



Photograph 2: Beelman storage areas along warehouse.



Photograph 3: Fence/gate along Bremen Street (view from inside Beelman property).



Photograph 4: Fence/gate (view from inside Beelman property); opening to Bremen Street.



Photograph 5: Fence along Bremen Street (view from inside Beelman property).



Photograph 6: Fence/gate along Bremen Street (opening to Bremen Street).

Attachment 1
Slough Road Photographs
June 28, 2022



Photograph 7: Slough Road, concrete debris and soil piles.



Photograph 8: Slough Road, concrete debris.



Photograph 9: Slough Road, concrete debris.



Photograph 10: Slough Road, former area of concrete foundation of former Robin's Nest lounge.



Photograph 11: Slough Road, former area of concrete foundation of former Robin's Nest lounge.



Photograph 12: Slough Road, former area of concrete foundation of former Robin's Nest lounge.

Attachment 1
Slough Road Photographs
June 28, 2022



Photograph 13: Slough Road, former area of concrete foundation of former Robin's Nest lounge.



Photograph 14: Slough Road, storage area.



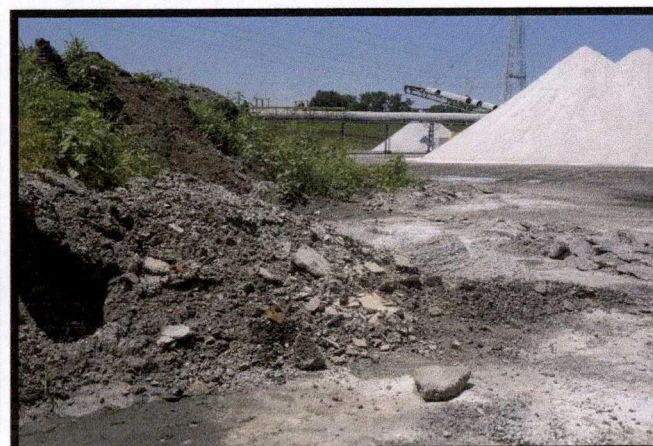
Photograph 15: Slough Road, storage area.



Photograph 16: Slough Road, storage area.



Photograph 17: Slough Road, sand storage.



Photograph 18: Slough Road, storage piles.

Attachment 1
Slough Road Photographs
June 28, 2022



Photograph 19: Slough Road, storage areas.



Photograph 20: Slough Road, storage area.



Photograph 21: Slough Road, former area of concrete foundation of former Robin's Nest lounge (new overhead electrical line in background).



Photograph 22: Slough Road, concrete debris.

Attachment 2
Eagle Park Acres – Watson Alley Photographs
June 28, 2022



Photograph 1: Watson Alley, gravel area (view from Terry Street toward Hill Street).



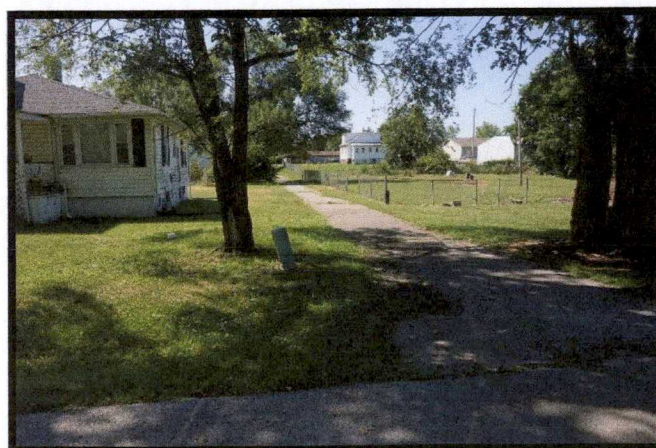
Photograph 2: Watson Alley, gravel area (view from Terry Street toward Harrison Street).



Photograph 3: Watson Alley, gravel area (view from Harrison Street toward Terry Street).



Photograph 4: Watson Alley, paved area (view from Harrison Street toward Watson Street).



Photograph 5: Watson Alley, paved area (view from Watson Street toward Harrison Street).



Photograph 6: Watson Alley, paved alley between Harrison Street and Watson Street.

Attachment 2
Eagle Park Acres – Watson Alley Photographs
June 28, 2022



Photograph 7: Watson Alley, paved alley between Harrison Street and Watson Street.



Photograph 8: Watson Alley, paved alley between Harrison Street and Watson Street.

Attachment 3
Eagle Park Acres - Remote Fill Properties Photographs
June 28, 2022



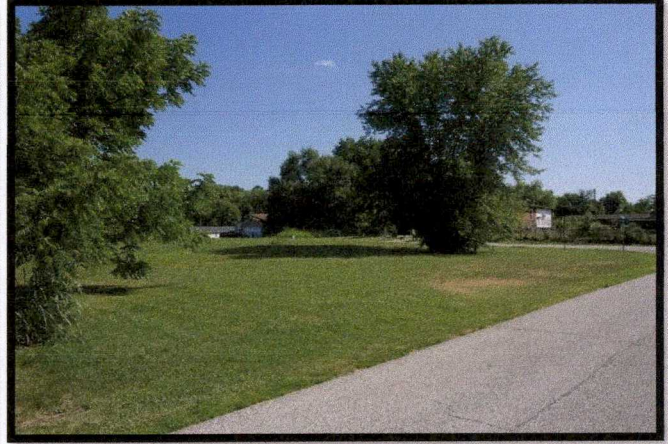
Photograph 1: 206 Terry Street property.



Photograph 2: 206 Terry Street property.



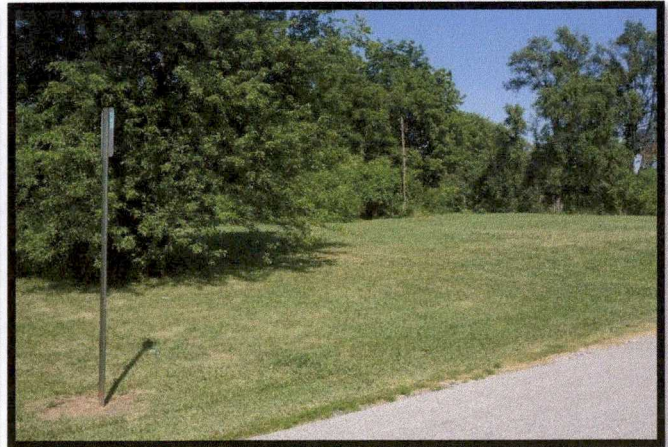
Photograph 3: 206 Terry Street property.



Photograph 4: 200 Allen Street property.



Photograph 5: 200 Allen Street property.



Photograph 6: 200 Allen Street property.

Attachment 3
Eagle Park Acres - Remote Fill Properties Photographs
June 28, 2022



Photograph 7: Harrison Street property.

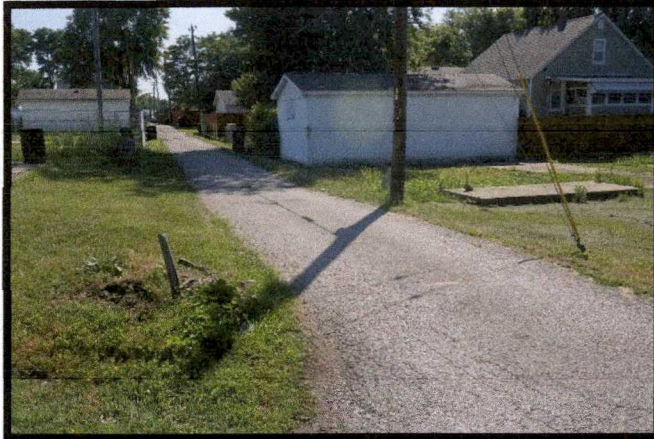


Photograph 8: Harrison Street property.



Photograph 9: Harrison Street property.

Attachment 4
Venice Township Alleys Photographs
June 28, 2022



Photograph 1: EPA Alley 39 (view southwest from McKinley Street).



Photograph 2: EPA Alleys 34, 36, and 40 (view north from Brown).



Photograph 3: EPA Alley 35, remediated by EPA (view south from Brown).



Photograph 4: EPA Alley 37 (view south from Brown).



Photograph 5: EPA Alley 1 (view north from Brown).



Photograph 6: EPA Alley 2 (view south from Brown).

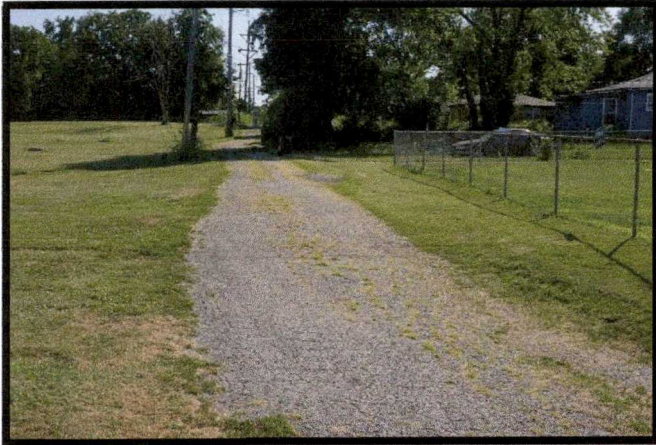
Attachment 4
Venice Township Alleys Photographs
June 28, 2022



Photograph 7: EPA Alley 3 (view southwest from Oriole).



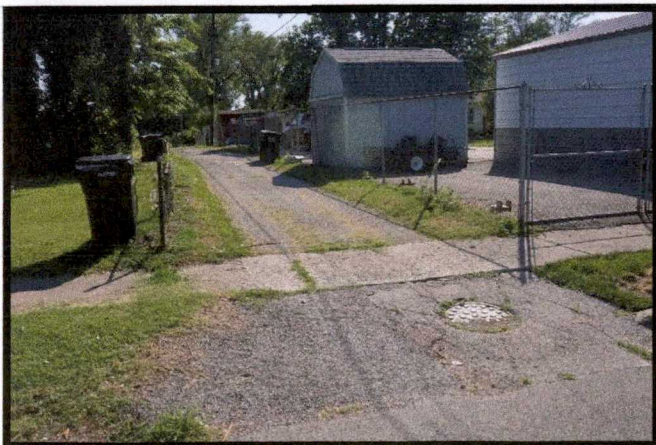
Photograph 8: EPA Alley 42, remediated by EPA (view southwest from 7th Street).



Photograph 9: EPA Alley 50 (view southwest from 7th Street).



Photograph 10: EPA Alley 50 (view northeast from 6th Street).



Photograph 11: EPA Alley 46 (view southwest from 6th Street); repairs at end of alley.

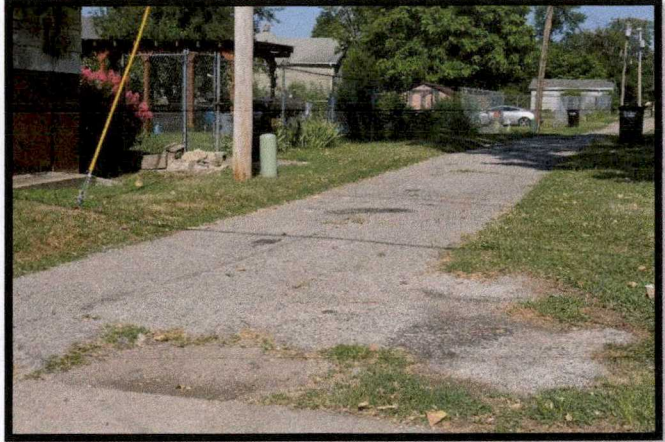


Photograph 12: EPA Alley 46 (view northeast from Klein Street).

Attachment 4
Venice Township Alleys Photographs
June 28, 2022



Photograph 13: EPA Alley 5 (view east from Baucum Street).



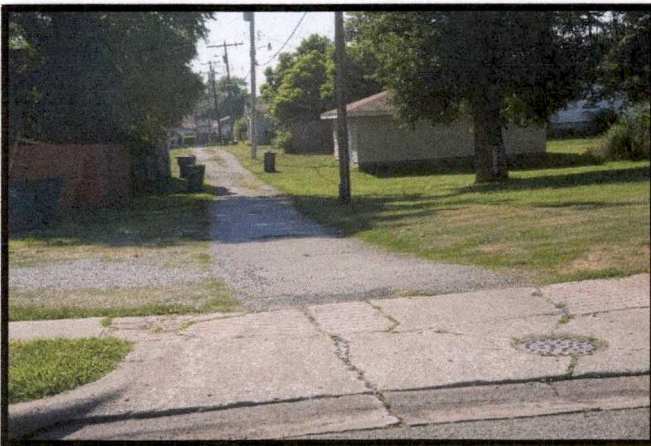
Photograph 14: EPA Alley 11 (view east from Baucum Street).



Photograph 15: EPA Alley 5 (view west from Meredocia Street).



Photograph 16: EPA Alley 10 (view east from Meredocia Street); repairs shown.

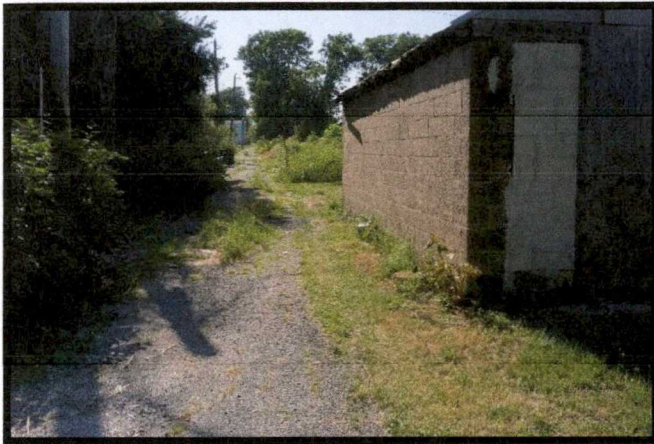


Photograph 17: EPA Alley 11 (view west from Meredocia Street).

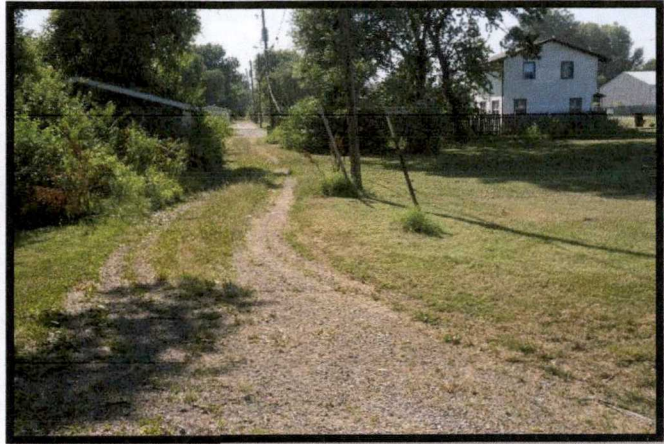


Photograph 18: EPA Alley 9 (view east from Selb Street).

Attachment 4
Venice Township Alleys Photographs
June 28, 2022



Photograph 19: EPA Alley 15 (view west from Line Alley); several holes have been filled with asphalt since June 2010 inspection.



Photograph 20: EPA Alley 22, remediated by EPA (view west from Line Alley).



Photograph 21: EPA Alley 26 (view south from Rogan Street).



Photograph 22: EPA Alley 26 (view north from Allen Street).



Photograph 23: EPA Alley 25, remediated by EPA (view south from Allen Street).



Photograph 24: EPA Alley 29 (view south from Madison Street/College Street).

Attachment 4
Venice Township Alleys Photographs
June 28, 2022



Photograph 25: EPA Alley 29 (view northeast from Jackson Street).



Photograph 26: EPA Alley 30, remediated by EPA (view north from Alley 30 toward Franklin Street).



Photograph 27: EPA Alley 43 (view northeast toward 4th Street).



Photograph 28: EPA Alley 51, remediated by EPA and eliminated as part of redevelopment (view north from Hampden).

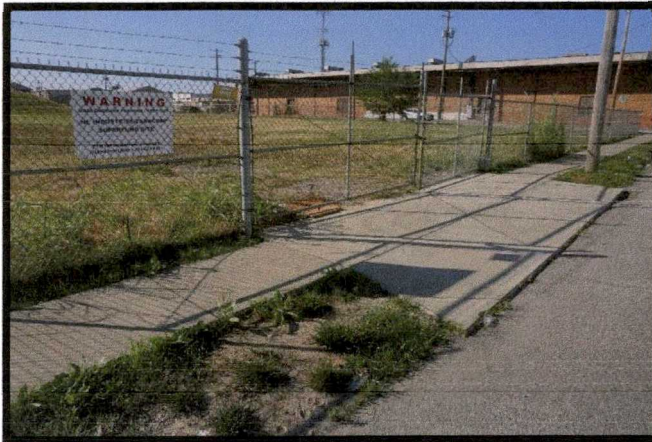


Photograph 29: EPA Alley 61, remediated by EPA (view west from 3rd Street).



Photograph 30: EPA Alley 52 (view north from Granville).

Attachment 5
Taracorp Pile Cap / Main Industrial Site Photographs
June 28, 2022



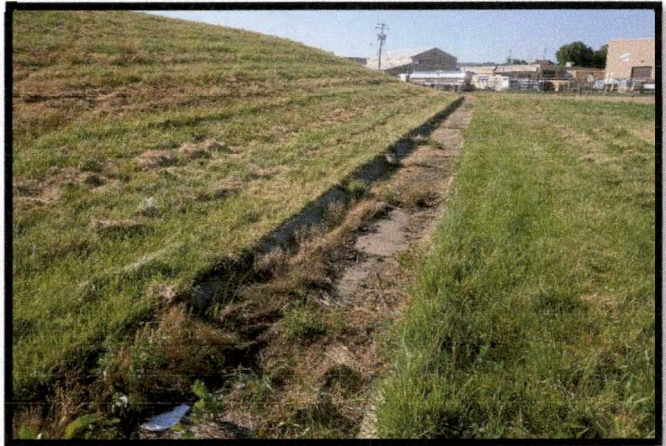
Photograph 1: Entrance to 1555 State Street property along State Street.



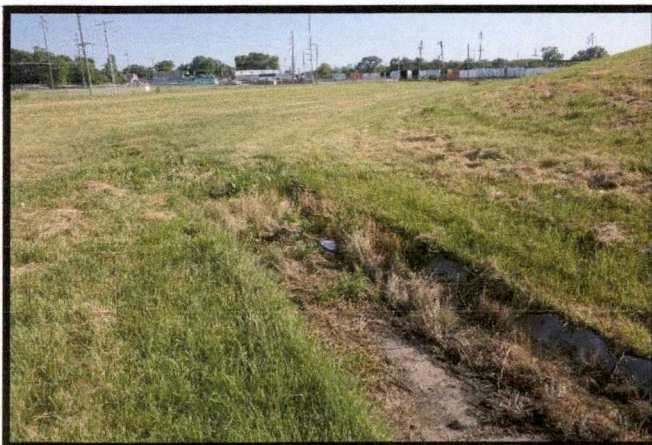
Photograph 2: Entrance to 1555 State Street property along State Street.



Photograph 3: Warning sign at front gate along State Street.



Photograph 4: Concrete drainage swale, east side of Taracorp pile (view north).



Photograph 5: End of concrete drainage of swale, east side of Taracorp pile (view south).

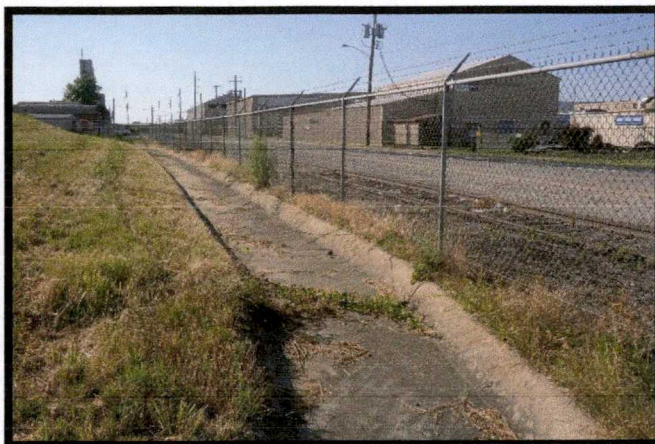


Photograph 6: Concrete drainage swale, east side of Taracorp pile (view north).

Attachment 5
Taracorp Pile Cap / Main Industrial Site Photographs
June 28, 2022



Photograph 7: Concrete drainage swale, east side of Taracorp pile (view north).



Photograph 8: Concrete drainage swale, northeast side of Taracorp pile (view northwest).



Photograph 9: Concrete drainage swale, northeast side of Taracorp pile (view southeast).



Photograph 10: Concrete drainage swale, fence, and vegetation; northeast side of Taracorp pile along 16th Street (view northwest).

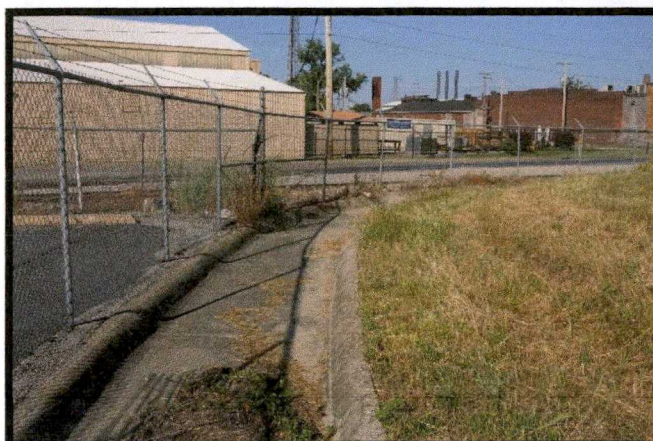


Photograph 11: Concrete drainage swale, fence, and vegetation; north side of Taracorp pile along 16th Street (view northwest).



Photograph 12: Concrete drainage swale, fence, and vegetation; north side of Taracorp pile along 16th Street (view west).

Attachment 5
Taracorp Pile Cap / Main Industrial Site Photographs
June 28, 2022



Photograph 13: Concrete drainage swale and vegetation; northwestern side of Taracorp pile (view east/northeast).



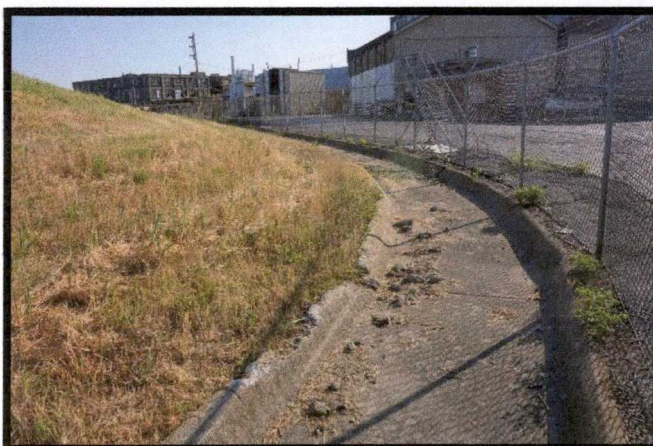
Photograph 14: Vegetation, northwestern side of Taracorp pile cap (view southwest).



Photograph 15: Concrete drainage swale, fence, and vegetation along northwestern side of Taracorp pile (view northeast).



Photograph 16: Concrete drainage swale, crack in concrete along northwestern side of Taracorp pile (view southwest).



Photograph 17: Concrete drainage swale (cracked concrete), fence, and vegetation along northwestern side of Taracorp pile (view southwest).



Photograph 18: Concrete drainage swale and vegetation along northwestern side of Taracorp pile (view southwest).

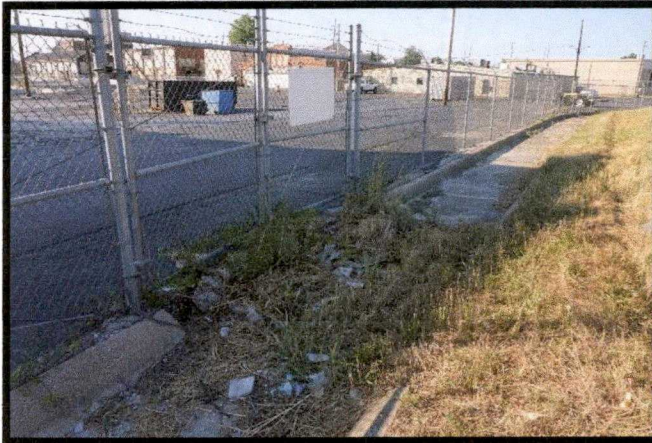
Attachment 5
Taracorp Pile Cap / Main Industrial Site Photographs
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Photograph 19: Fence (gate), warning sign, concrete drainage swale, vegetation along northwestern side of Taracorp pile (view west).



Photograph 20: Concrete drainage swale, vegetation along western side of Taracorp pile (view north/north-east).



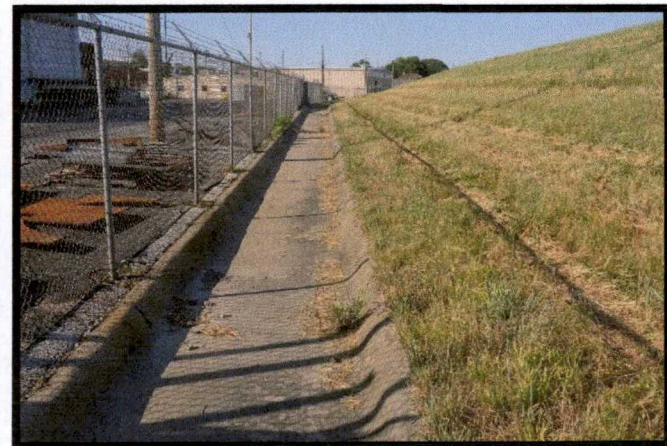
Photograph 21: Fence (gate), warning sign, western side of Taracorp pile (view northwest).



Photograph 22: Fence (gate), warning sign along western side of Taracorp pile (view west).

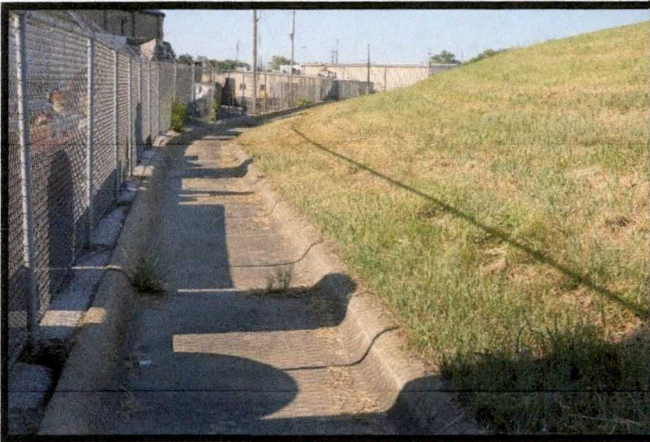


Photograph 23: Concrete drainage swale, fence, and vegetation near base of western side of Taracorp pile (view southwest).



Photograph 24: Concrete drainage swale, fence, and vegetation near base of western side of Taracorp pile (view northeast).

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Taracorp Pile Cap / Main Industrial Site Photographs
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Photograph 25: Concrete drainage swale, fence, and vegetation near base of western side of Taracorp pile (view northeast).



Photograph 26: Concrete drainage swale, fence, and vegetation near base of western side of Taracorp pile (view southwest).



Photograph 27: Concrete drainage swale, fence, and vegetation near base of western side of Taracorp pile (view southwest).



Photograph 28: Concrete drainage swale, fence, western side of Taracorp pile (view southwest).



Photograph 29: Concrete drainage swale, fence, western side of Taracorp pile (view north).



Photograph 30: Concrete drainage swale, fence, western side of Taracorp pile (view north).

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Photograph 31: Concrete drainage swale, fence, western side of Taracorp pile (view south).



Photograph 32: Concrete drainage swale, fence, western side of Taracorp pile (view south).



Photograph 33: Concrete drainage swale, fence, western side of Taracorp pile (view north).



Photograph 34: Concrete drainage swale, fence, western side of Taracorp pile (view east).



Photograph 35: Concrete drainage swale, fence, and vegetation near base of southern side of Taracorp pile (view west).

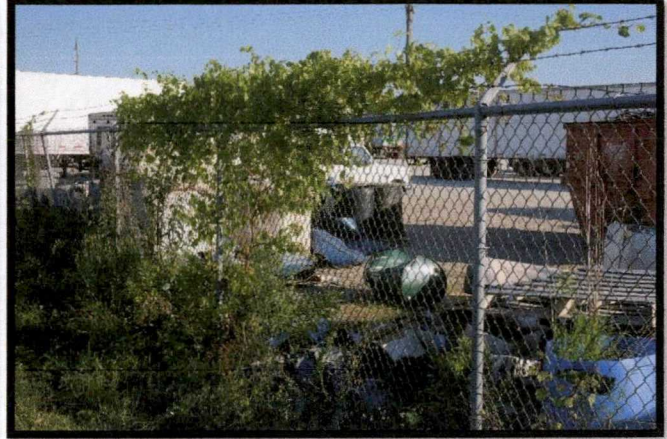


Photograph 36: Concrete drainage swale, fence, southern side of Taracorp pile (view east).

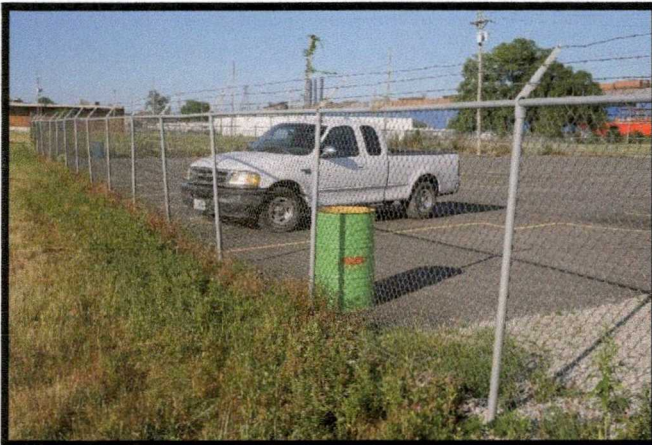
Attachment 5
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Photograph 37: Concrete drainage swale, fence, and vegetation near base of southern side of Taracorp pile cap (view east).



Photograph 38: Vegetation on fence, southern side of Taracorp pile cap.



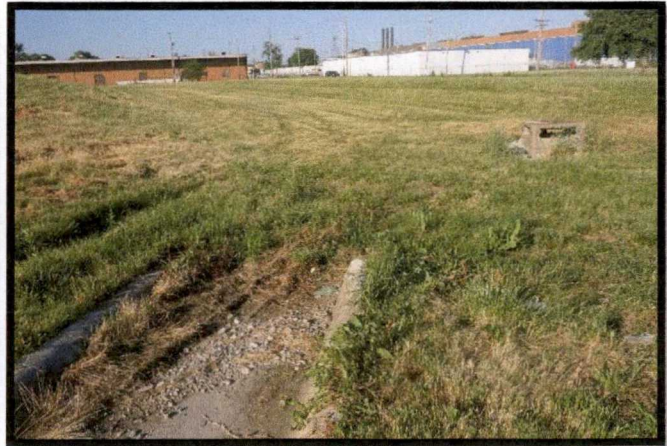
Photograph 39: Fence along southern side of Taracorp pile.



Photograph 40: Fence along southern side of Taracorp pile.

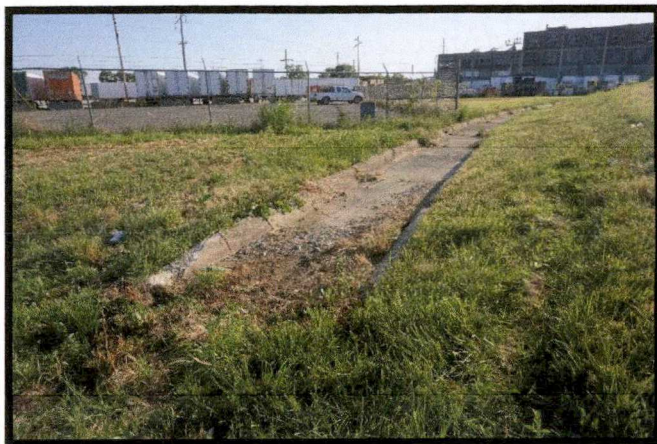


Photograph 41: Concrete drainage swale, southwestern side of Taracorp pile cap (view west).



Photograph 42: Concrete drainage swale, fence, southwestern side of Taracorp pile cap (view east).

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Photograph 43: Concrete drainage swale, southwestern side of Taracorp pile cap (view west).



Photograph 44: Stormwater outlet.



Photograph 45: Stormwater outlet.



Photograph 46: Stormwater outlet.



Photograph 47: Stormwater basin and outlet.



Photograph 48: Stormwater manhole.

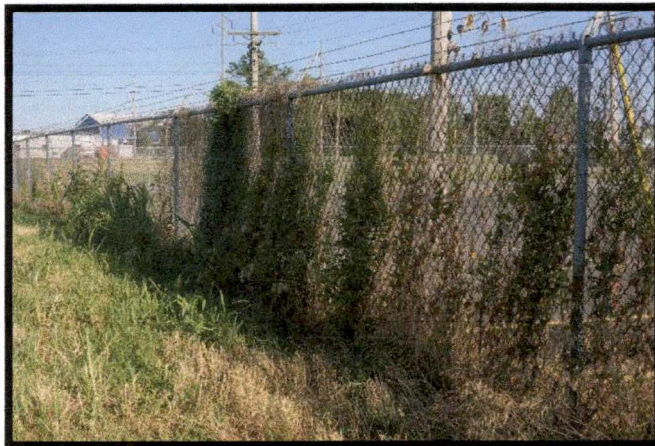
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Photograph 49: Stormwater manhole, fence along south side of 1555 State Street property.



Photograph 50: Vegetation and fence along south end of 1555 State Street property (view toward State Street).



Photograph 51: Vegetation and fence along south end of 1555 State Street property (view toward State Street).



Photograph 52: Vegetation, southeastern side of Taracorp pile cap (view west).



Photograph 53: Vegetation, eastern side of Taracorp pile (view northeast).



Photograph 54: Vegetation, top of Taracorp pile cap.

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Photograph 55: Leachate riser pipe, vegetation on eastern side of Taracorp pile cap.



Photograph 56: Locked lid on leachate riser pipe (locked lid installed fall 2007).



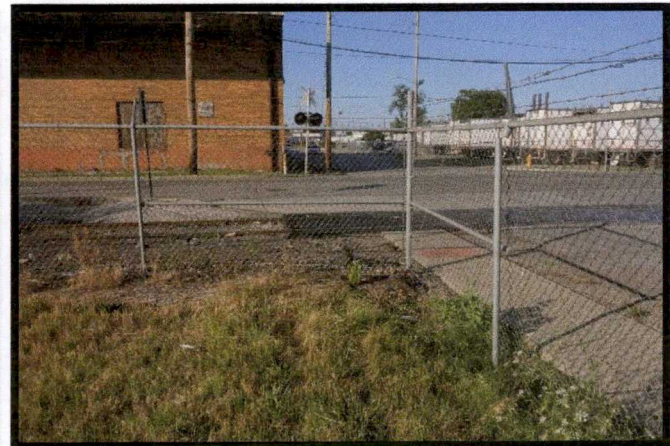
Photograph 57: Vegetation, former BV&G Truck Service area (view from Taracorp pile).



Photograph 58: Older and newer fence near former BV&G Truck Service buildings and along railroad tracks (view east).



Photograph 59: Older and newer fence near former BV&G Truck Service buildings and along railroad tracks (view northwest).



Photograph 60: Inside fence, corner of State Street and 16th Street.

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Photograph 61: Inside fence, view along State Street.



Photograph 62: Inside fence, gate along State Street.



Photograph 63: Inside fence, view along State Street.



Photograph 64: Vegetation, fence, and warning sign along State Street sidewalk.



Photograph 65: Vegetation, fence along State Street sidewalk.



Photograph 66: Vegetation, fence along State Street sidewalk.

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Photograph 67: Vegetation, fence along State Street sidewalk.



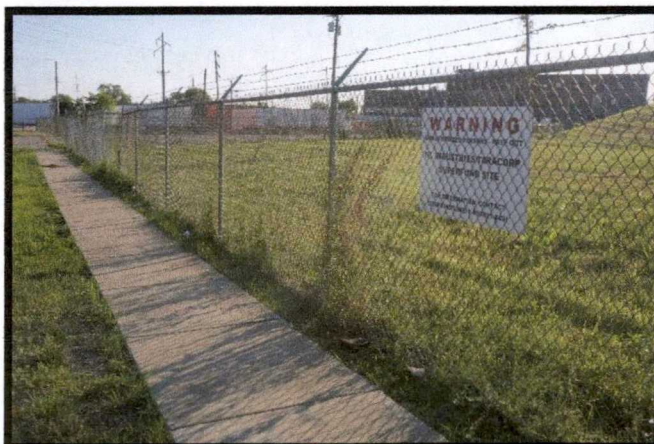
Photograph 68: Vegetation, fence and warning sign along State Street sidewalk.



Photograph 69: Vegetation, fence along State Street sidewalk.



Photograph 70: Vegetation, fence along State Street sidewalk.



Photograph 71: Vegetation, fence, and warning sign along State Street sidewalk.



Photograph 72: Vegetation, fence, and warning sign along State Street sidewalk.

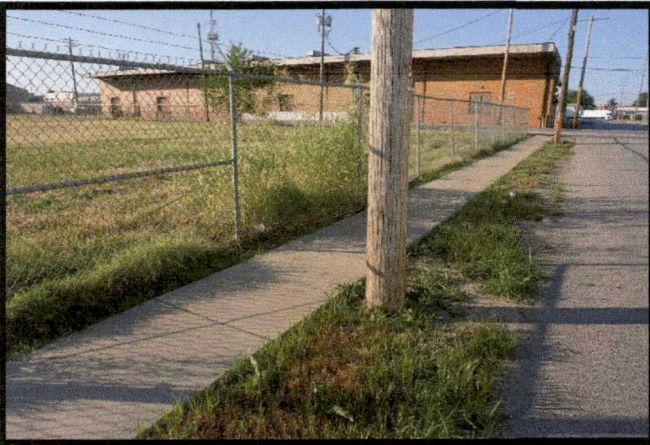
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Photograph 73: Vegetation, fence along State Street sidewalk.



Photograph 74: End of concrete sidewalk at former Rich Oil property.



Photograph 75: Vegetation/fence along State Street sidewalk.



Photograph 76: Vegetation/fence along State Street sidewalk.



Photograph 77: Underground pipeline warning along State Street.

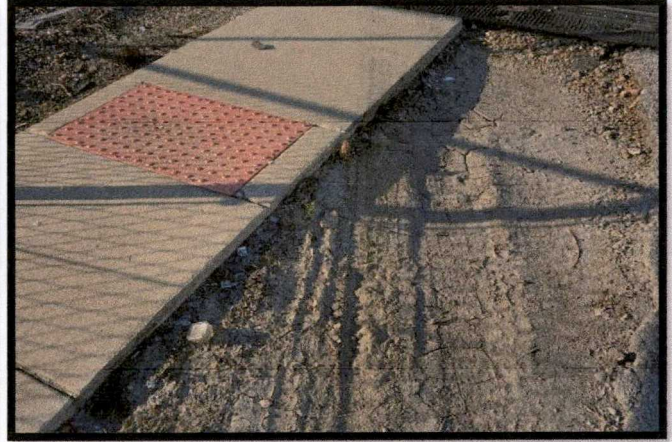


Photograph 78: ADA-compliant access ramp at end of sidewalk near railroad tracks.

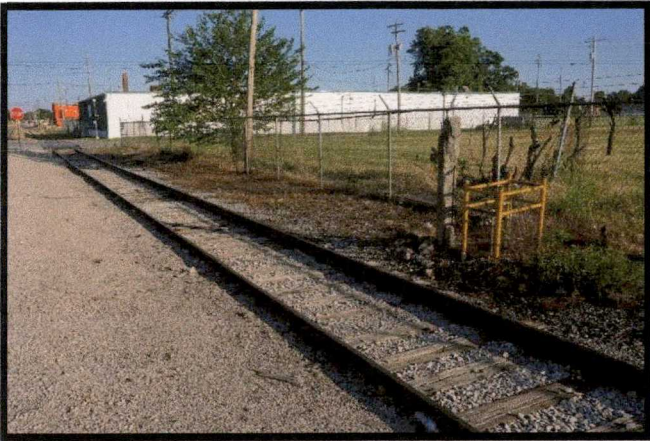
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Photograph 79: ADA-compliant access ramp at end of sidewalk near railroad tracks.



Photograph 80: ADA-compliant access ramp at end of sidewalk near railroad tracks.



Photograph 81: Former gas utilities along railroad tracks.



Photograph 82: Former gas utilities along railroad tracks.



Photograph 83: Fence along railroad tracks and 16th Street.

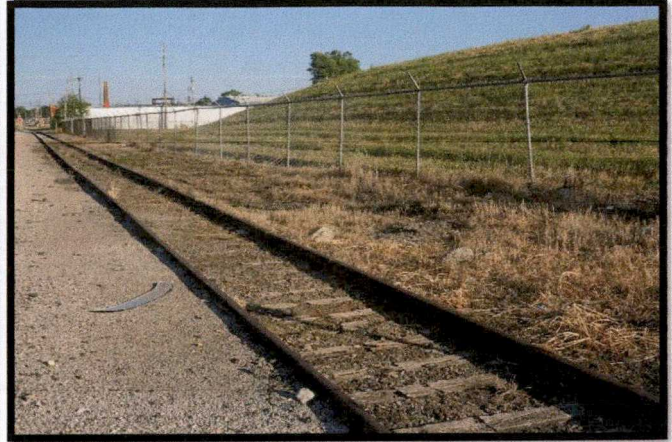


Photograph 84: Warning sign, fence along railroad tracks and 16th Street.

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Photograph 85: Warning sign on fence along railroad tracks near 16th Street and Edison Avenue.



Photograph 86: Fence and vegetation along railroad tracks and 16th Street.



Photograph 87: Monitoring well MW-101.



Photograph 88: Mayco facility along 16th Street.



Photograph 89: Recently constructed bollards around monitoring well MW-105D.



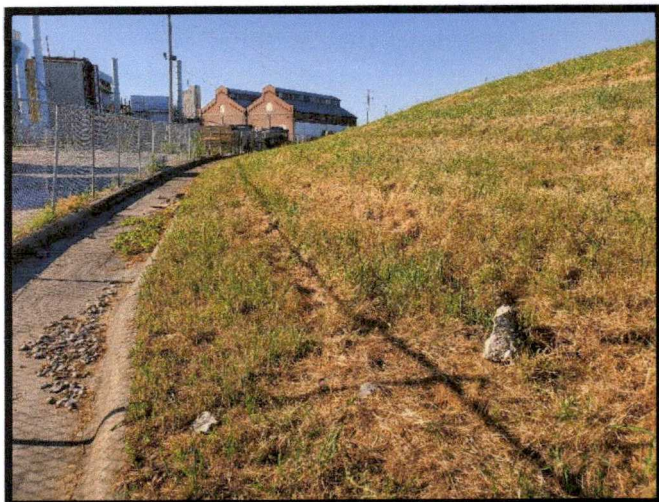
Photograph 90: Recently constructed bollards around monitoring well MW-105D.

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Photograph 91: Gas utilities near monitoring well MW-105D.

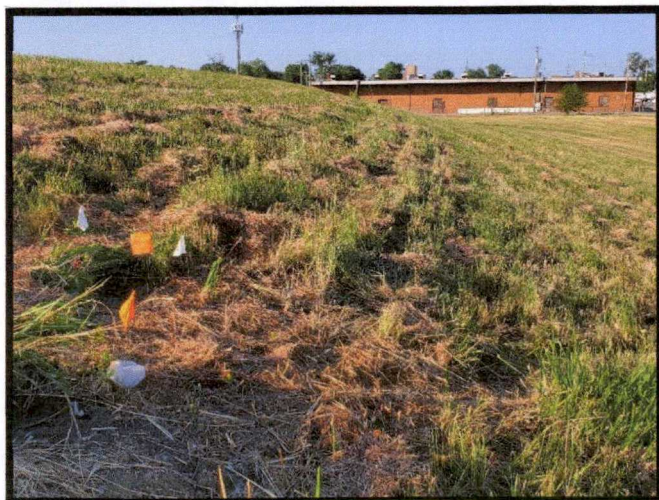
Attachment 5
Taracorp Pile Cap / Main Industrial Site Photographs
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Photograph 92: Groundhog hole 1, marked with rock (view north).

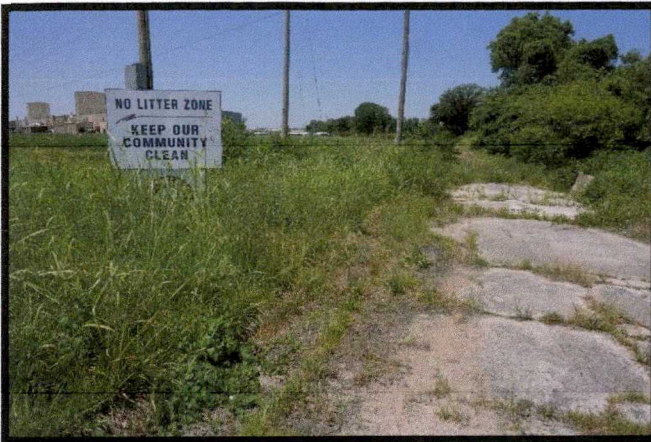


Photograph 93: Groundhog hole 2, marked with rock (view east).



Photograph 94: Groundhog hole 3, marked with flags and plastic (view north).

Attachment 6
Schaeffer Road Photographs
June 28, 2022



Photograph 1: Schaeffer Road property, entrance.



Photograph 2: Schaeffer Road property, entrance.



Photograph 3: Schaeffer Road property, entrance.



Photograph 4: Schaeffer Road property, entrance.



Photograph 5: Schaeffer Road property, entrance.

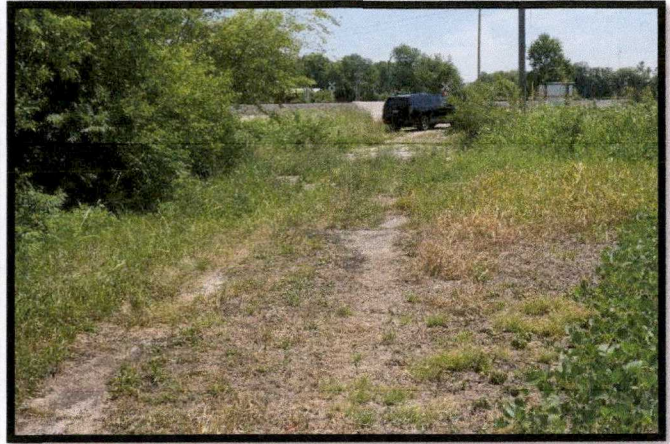


Photograph 6: Schaeffer Road property, entrance.

Attachment 6
Schaeffer Road Photographs
June 28, 2022



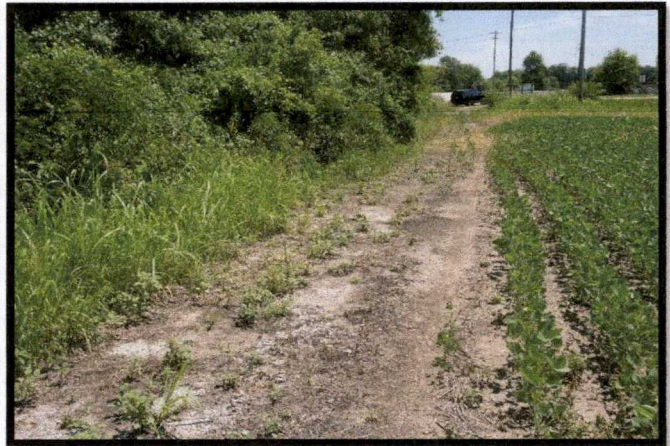
Photograph 7: Schaeffer Road property, roadway.



Photograph 8: Schaeffer Road property, roadway.



Photograph 9: Schaeffer Road property, roadway.



Photograph 10: Schaeffer Road property, roadway.



Photograph 11: Schaeffer Road property, roadway.



Photograph 12: Schaeffer Road property, roadway.

**Attachment 6
Schaeffer Road Photographs
June 28, 2022**



Photograph 13: Schaeffer Road property, roadway.



Photograph 14: Schaeffer Road property, roadway.



Photograph 15: Schaeffer Road property, stormwater drainage ditch.



Photograph 16: Schaeffer Road property, roadway.



Photograph 17: Schaeffer Road property, vegetation near sanitary sewer manhole.



Photograph 18: Schaeffer Road property, sanitary sewer manhole.

Attachment 6
Schaeffer Road Photographs
June 28, 2022



Photograph 19: Schaeffer Road property, field near sanitary sewer manhole.



Photograph 20: Schaeffer Road property, field near sanitary sewer manhole.



Photograph 21: Schaeffer Road property, stormwater drainage ditch.



Photograph 22: Schaeffer Road property, stormwater drainage ditch.



Photograph 23: Schaeffer Road property, stormwater drainage ditch.

Attachment 7
Sand Road Photographs
June 28, 2022



Photograph 1: Sand Road property (view from entrance).



Photograph 2: Sand Road property, stormwater drainage ditch.



Photograph 3: Sand Road property, stormwater drainage ditch, pipe.



Photograph 4: Sand Road property, concrete foundation.



Photograph 5: Sand Road property, concrete foundation.



Photograph 6: Sand Road property, concrete foundation.

Attachment 7
Sand Road Photographs
June 28, 2022



Photograph 7: Sand Road property, concrete foundation.



Photograph 8: Sand Road property, concrete foundation.



Photograph 9: Sand Road property, concrete foundation.



Photograph 10: Sand Road property, concrete foundation.



Photograph 11: Sand Road property, concrete foundation.



Photograph 12: Sand Road property, concrete foundation.

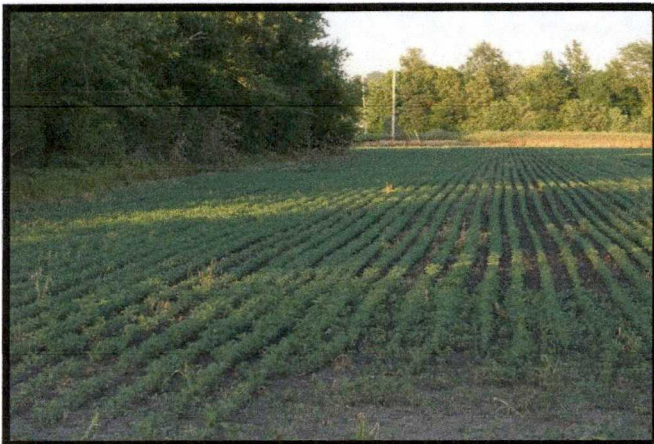
Attachment 7
Sand Road Photographs
June 28, 2022



Photograph 13: Sand Road property, concrete foundation.



Photograph 14: Sand Road property, concrete foundation.



Photograph 15: Sand Road property, vegetation north of concrete foundation.



Photograph 16: Sand Road property, vegetation on south side of concrete foundation.